

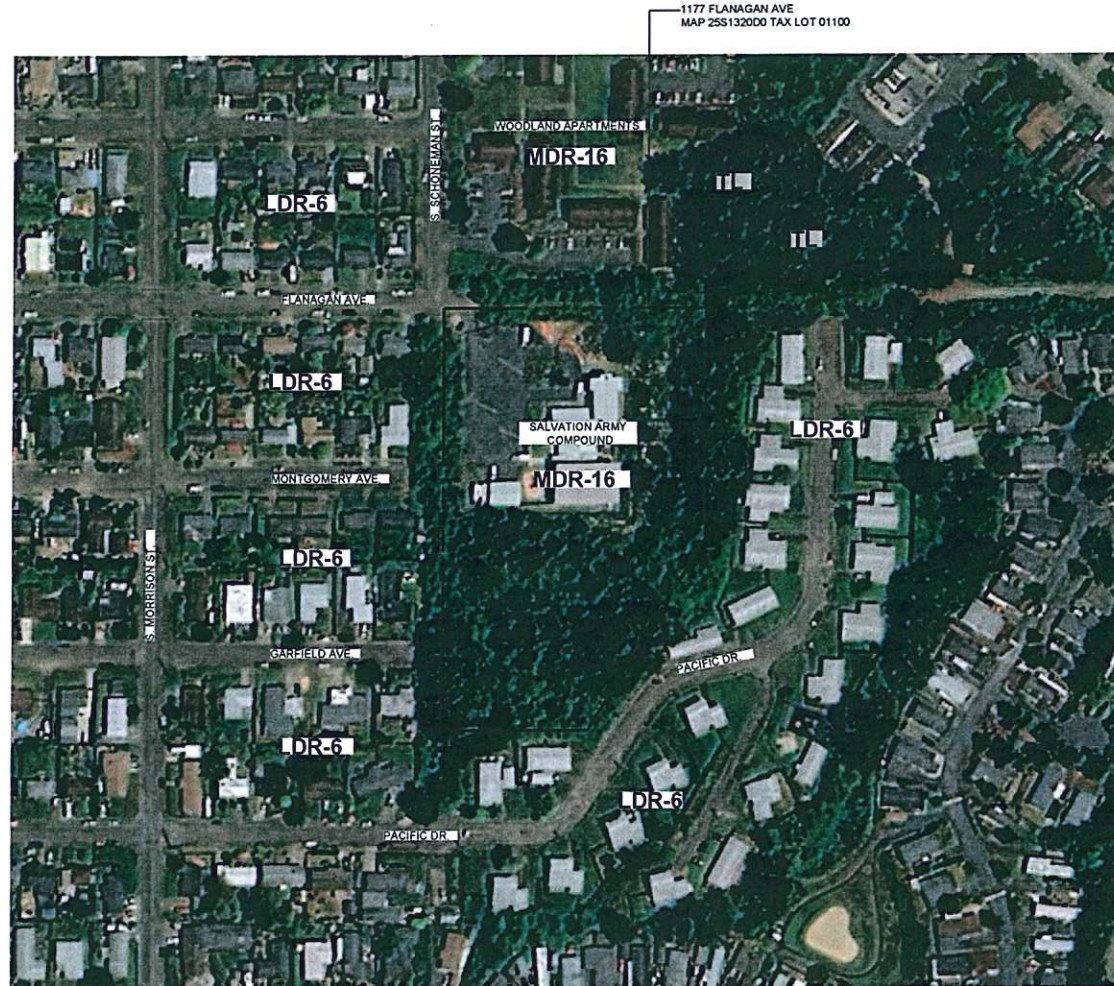


THE SALVATION ARMY

TRANSITIONAL TEMPORARY HOUSING

COOS BAY, OREGON

AUGUST 29, 2024 THIS IS A LAND USE SCHEMATIC DESIGN SUBMITTAL- SEE CHELSEA SCHNABLE OR NICOLE RUTHERFORD



1 VICINITY MAP & ADJACENT ZONING
SCALE 1/8" = 1'-0"



PROJECT DIRECTORY

OWNER
THE SALVATION ARMY
30840 HAWTHORNE BLVD.
RANCHO PALOS VERDES, CA 90275
CONTACT: DAVID KAUFFMAN - 541-855-5202

PROJECT ARCHITECT
CROWCLAY AND ASSOCIATES
125 WEST CENTRAL AVE, SUITE 400
COOS BAY, OREGON 97420
CONTACT: TIM LAMBSON, AIA - 541-259-8358

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER
CONTRACT NEGOTIATIONS

CIVIL ENGINEER
CONTRACT NEGOTIATIONS

GEOTECHNICAL ENGINEER
GEOTECH SOLUTIONS INC.
20978 S SPINGWATER ROAD
ESTACADA, OR 97023
CONTACT: DON RONDEMA PE 503-859-8678

SHEET INDEX

CIVIL:
C0-1 - SITE PLAN
C1-1 - EXISTING CONDITIONS PLAN
C2-1 - GRADING & DRAINAGE PLAN
C3-1 - UTILITY PLAN

SURVEY:
S1-0 - EXISTING SURVEY OF SITE

ARCHITECTURAL:
COVER - BUILDING INFORMATION, SHEET INDEX, PROJECT DIRECTORY, PLOT PLAN, & VICINITY MAP
A1.0 - CODE REVIEW
A1.1 - SITE DEMO
A1.2 - SITE PLAN
A1.3 - SITE UTILITY
A2.1 - FLOOR PLANS

GENERAL NOTES

- OWNER & CONTRACTOR WILL MEET & VERIFY LAY-DOWN AREA AND WORK AREA PERIMETER PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL GRADES AND ELEVATIONS IN THE FIELD PRIOR TO INITIATION OF WORK IN AREA UNDER CONSIDERATION.
- CONTRACTOR TO COMPLETE UTILITY LOCATE PRIOR TO WORK INITIATION.

ELECTRICAL:
E1-1 - SITE PLAN ELECTRICAL

MECHANICAL & PLUMBING:
M1-1 - SITE PLAN MECHANICAL & PLUMBING

THIS IS A SCHEMATIC DESIGN SUBMITTAL
THE SHEET INDEX ABOVE WITH LINES THRU THE SHEET TITLES ARE NOT INCLUDED, BUT WILL BE PROVIDED WITH FINAL DOCUMENTS.

ZONING LEGEND

LDR-6 = LOW DENSITY RESIDENTIAL- 6
MDR-16 = MEDIUM DENSITY RESIDENTIAL
TL = TRUST LAND

SCOPE OF WORK

THE NATIONAL CRISIS OF HOMELESS PEOPLE IN THE UNITED STATES IS WELL KNOWN TO ALL. THIS CRISIS IS MORE DIFFICULT FOR HOMELESS FAMILIES WITH CHILDREN. TIME IS OF THE ESSENCE TO HELP THESE UNFORTUNATE PEOPLE. A TEAM OF ORGANIZATIONS HAVE COME TOGETHER TO FACILITATE THE TRANSITIONAL TEMPORARY HOUSING FOR UP TO 16 FAMILIES. THE COMPOUND WILL CONSIST OF THE 8 MODULAR HOUSES, A LAUNDRY FACILITY AND IMPROVEMENTS TO THE EXISTING KITCHEN WITHIN THE SALVATION ARMY ADMINISTRATION BUILDING (THE KITCHEN UPGRADE WILL BE DONE IN A SEPARATE BUILDING PERMIT PACKAGE).

THE FULL SITE OF THE PROPERTY IS 4.63 ACRES. TO THE EAST AND NORTH OF THE SALVATION ARMY BUILDINGS IS AN AREA THAT'S APPROX. 1.08 ACRES. THIS SITE HAS FLAT AREAS TO SIMPLY PLACE THE NEW MODULAR HOUSES ON. AT SCHEMATIC LEVEL WE PLAN ON THE HOUSE SITTING ON A 6" BED OF COMPACTED STRUCTURAL BASE, AND EACH PAD WILL HAVE DRAINAGE.

EACH HOUSE WILL HAVE ELECTRICAL, WATER AND SEWER CONNECTIONS. EACH UNIT WILL HAVE TWO SINGLE ROOM OCCUPANCIES WITH A SHARED BATHROOM AND EACH SINGLE OCCUPANCY WILL HAVE A KITCHENETTE.

A SEPARATE LAUNDRY ROOM WITH 3 WASHERS AND 3 DRYERS WITH STORAGE AND A FULL BATHROOM. THERE WILL BE ONE FULLY ACCESSIBLE ADA UNIT. THIS UNIT AND THE LAUNDRY ROOM WILL HAVE 4" CONCRETE SIDEWALKS. THE OTHER HOMES WILL HAVE 4" WALKWAYS WITH METAL EDGED BORDERS AND COMPACTED DECOMPOSED GRANITE. ALONG WITH A 5' X 5' CONCRETE SLAB AT THE ENTRANCES.

THE EXISTING SALVATION ARMY PARKING WILL NOT BE AFFECTED. A SMALL AREA AT THE EXISTING TURN AROUND WILL HAVE 8 PARKING SPACES IN ASPHALT. HOWEVER, THE MAJORITY OF THE CAR SPACES WILL PROBABLY NOT BE UTILIZED, SINCE THE HOMELESS MAY NOT OWN A CAR. BICYCLES CAN BE KEPT AT EACH HOME.

ABBREVIATIONS

A.F.F. ABOVE FINISHED FLOOR
AB. ANCHOR BOLT
ADA AMERICANS WITH DISABILITIES ACT
AT AT
CL.R. CLEAR
CMU CONCRETE MASONRY UNIT BLOCK
CONC. CONCRETE
CONT. CONTINUOUS
C.J. CONTROL JOINT
C/L CENTERLINE
CO2 CO2 ALARM
DN DOWN
ELEV. ELEVATION
EXIST. EXISTING
EA EACH
ELEC. ELECTRIC
EP ELECTRICAL PANEL
FA FIRE ALARM
FE FIRE EXTINGUISHER
FT FEET / FOOT
GEOTECH GEOTECHNICAL
GYP.BD. GYPSUM BOARD
HDG. HOT DIPPED GALVANIZED
HORIZ. HORIZONTAL
HW. HOT WATER HEATER
ID IN DIAMETER
MAN. MANUFACTURER
MAX. MAXIMUM
MIN. MINIMUM
O.C. ON CENTER
OSCI OWNER SUPPLIED CONTRACTOR INSTALLED
PERF. PERFORATED
PLY.WD. PLYWOOD
P.T. PRESSURE TREATED
ROD. REQUIRED
SA. SMOKE ALARM
SIM. SIMILAR
TOC TOP OF CURB
TYP. TYPICAL
UNLESS NOTED OTHERWISE
VERT. VERTICAL
W. WITH
WRB. WEATHER RESISTANT BARRIER
WWF. WELDED WIRE FABRIC

LEGEND

SECTION CALL OUT
1 INT. ELEVATION TAG
1101 INT. ELEVATION TAG
SIM
REVISION TAG
WINDOW TAG
WALL TAG
EXT. ELEVATION TAG
DOOR TAG
KEYNOTE TAG

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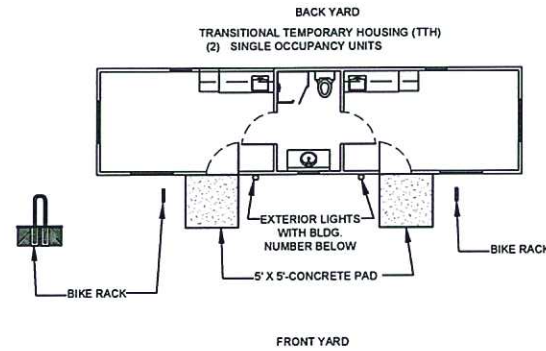
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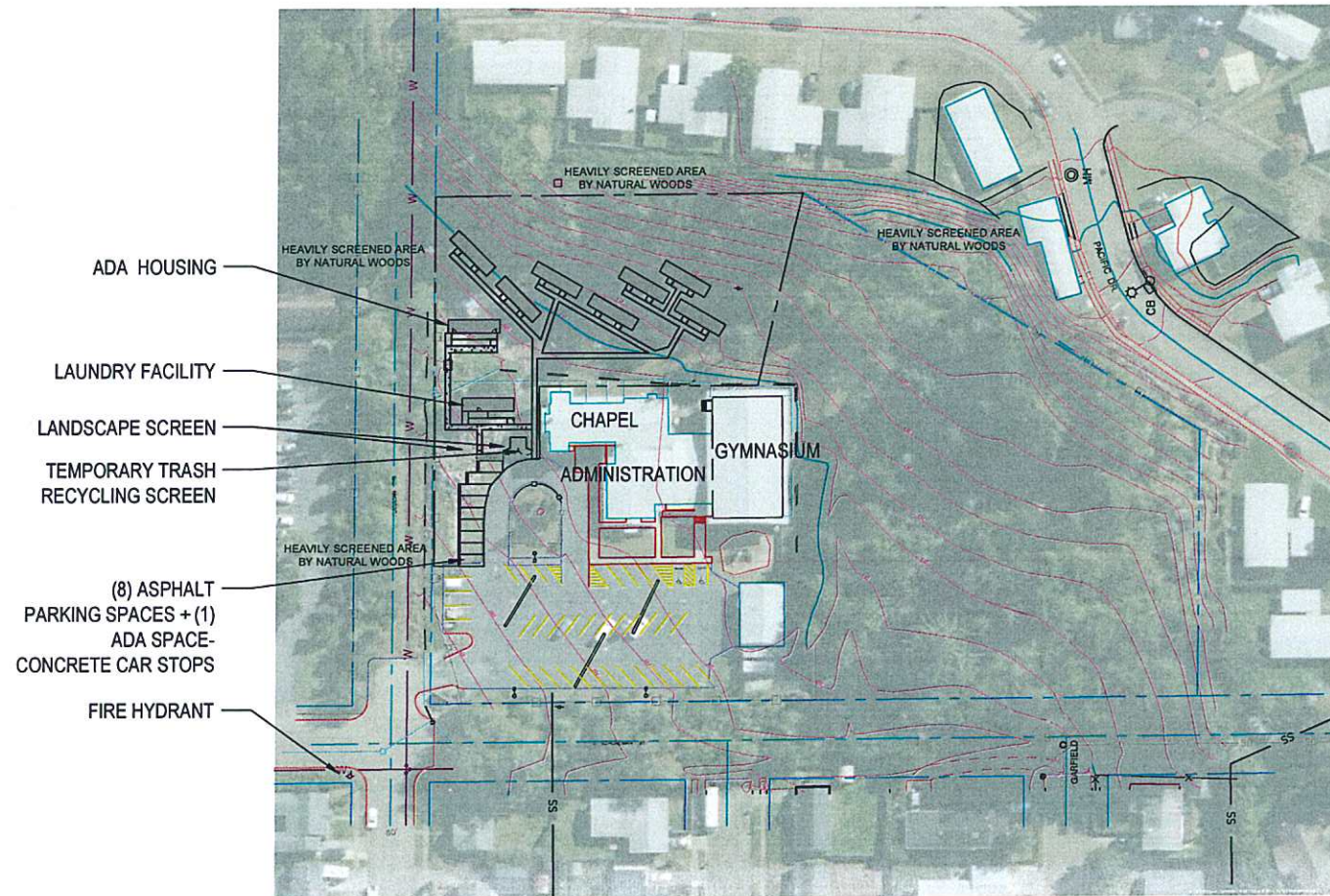
SALVATION ARMY
SITE FOR TEMPORARY TRANSITIONAL HOUSING
1155 FLANAGAN AVENUE
COOS BAY OREGON 97420

Revision	Date

AUGUST 2024
PROJECT NO 24009
CS



2 TYPICAL HOME SITE
SCALE: 1/8" = 1'-0"



1 SALVATION ARMY SITE
SCALE: 1/84" = 1'-0"

BUILDING INFORMATION

BUILDING OCCUPANCY AND CONSTRUCTION TYPE

ZONING TYPE: MDR Medium Density Residential
 OCCUPANCY TYPE: Residential
 TYPE OF CONSTRUCTION: V-B (MODULAR HOMES BUILT OFF SITE)
 THE MEDIUM DENSITY RESIDENTIAL (MDR) DISTRICT IS INTENDED TO PROVIDE FOR RESIDENTIAL DEVELOPMENT OPPORTUNITIES, INCLUDING CERTIFIED FACTORY-BUILT HOMES, WITH A MINIMUM DENSITY OF 10 UNITS PER NET ACRE AND A MAXIMUM DENSITY OF 25 UNITS PER NET ACRE.

- EACH FACTORY BUILT HOME WILL HAVE A MINIMUM OF 10'-0" BETWEEN EACH BUILDINGS. NO FENCING WILL BE USED.
- THE HOUSING WILL BE TEMPORARY TRANSITIONAL HOUSING (TTH)
- EACH UNIT HAS TWO SINGLE OCCUPANCY SPACES AND SHARED RESTROOM.
- THE AREA SHOWN IN DRAWING FOR THE TTH'S IS A TOTAL OF 47,177 SQ. FT. OR 1.08 ACRES WITH 9 UNITS AND IS UNDER THE DENSITY RECOMMENDED BY THE CODE. PROJECT COMPLES WITH THE MINIMUM DENSITY OF 10 UNITS PER NET ACRE.
- LOT COVERAGE: 40% LOT COVERAGE, <85%, <65%
- MAXIMUM HEIGHT-35 FEET- THE UNITS MAYBE AS HIGH AS 24'. PROJECT COMPLES.
- SETBACKS- MINIMUM FRONT SETBACK- 10'
 MINIMUM SIDE SETBACK- 5'
 MINIMUM REAR SETBACK- 5'
- EXISTING NATURAL FOREST AND FAUNA FULFILL PERIMETER SCREENING. THERE WILL BE LANDSCAPE ADDED IN FRONT OF LAUNDRY FACILITY FOR SCREENING THERE.

-ASCE 7-16 SEISMIC SITE CLASS D -CASCADIA SUBDUCTION ZONE (CSZ)PER GEOTECHNICAL REPORT
 -FIRE SUPPRESSION: FIRE HYDRANT WITHIN 250'
 STATIC PRESSURE 41 PSI
 FIRE FLOW- 3,000 GPM 08/28 BY NBCBWB
 -WIND EXPOSURE: RISK CATEGORY 1
 -135 MPH special wind region PER ATC HAZARDS BY LOCATION
 -SNOW LOAD-2 LBS SQ. FT. & GROUND FACTOR .07 PSF
 -FROST DEPTH: 5 INCHES

BUILDING CODE

CONSTRUCTION SHALL COMPLY WITH CODE REQUIREMENTS:

BUILDING CODE - 2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
 MECHANICAL CODE - 2019 OREGON MECHANICAL SPECIALTY CODE (OMSC)
 PLUMBING CODE - 2021 OREGON PLUMBING SPECIALTY CODE (OPSC)
 ELECTRICAL CODE - 2021 OREGON ELECTRICAL SPECIALTY CODE (DESC)
 ENERGY CODE - 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE
 FEDERAL AMERICANS WITH DISABILITIES ACT (ADA)
 CITY OF COOS BAY - DEVELOPMENT CODE-

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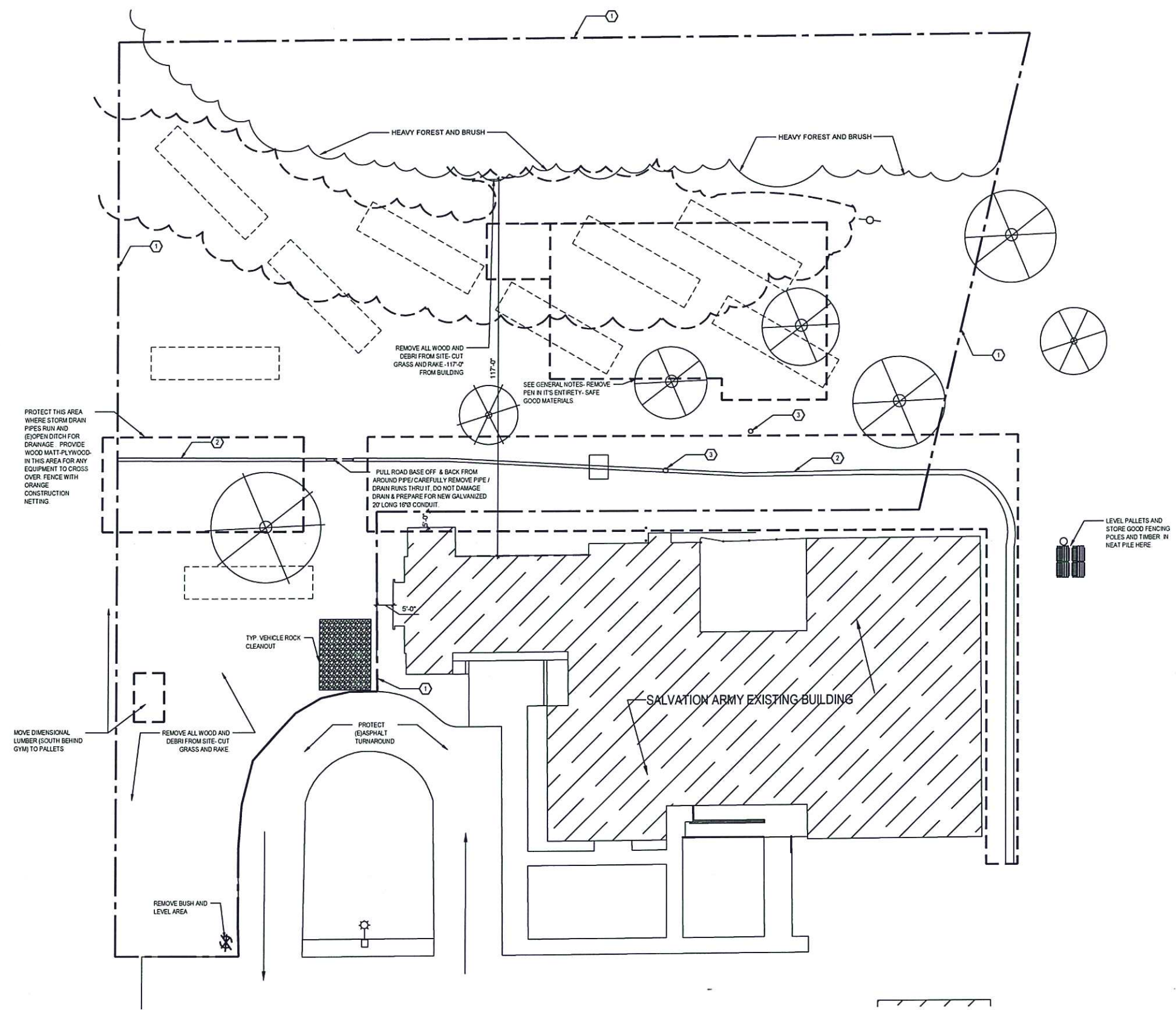
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A1.0



GENERAL NOTES

- CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO WORK. SEE CIVIL DRAWINGS.
- ON THE EAST SIDE OF THE (E) BUILDING IS A (E) DRAINAGE CANAL. DO NOT DRIVE OVER THESE AREAS THIS AREA HAS UNDERGROUND DRAINAGE AND STORM DRAINS. PIPES AND COULD BE DAMAGED BY LARGE EQUIPMENT OR EVENT TRUCKS.
- WITHIN TTH ZONE:
 - WITHIN THE MAIN PERIMETER FENCING- REMOVE ALL EXTRA FENCING AND FOOTINGS. DO NOT REMOVE EXTERIOR PERIMETER FENCING ON PROPERTY LINE.
 - REMOVE ALL DEBRIS, POLES FENCING, AND ALL CHOPPED WOOD.
 - SAVE THE FOLLOWING: ALL GOOD PALLETS, FENCING WIRE (ROLL UP), ALL STRAIGHT GALVANIZED METAL POLES AND "T" POSTS TO REMAIN W/ OWNER.
 - TIMBER MEMBERS- STANDARD SIZED TIMBER TYPE POLES TO REMAIN FOR USE ON SITE. IF ROTTEN REMOVE FROM SITE.
 - SAVED POLES AND TIMBER ARE TO BE STACKED ON THE BEST PALLETS, LOCATION SHOWN ON PLAN.
 - GRADE PER CIVIL ENGINEER.
 - TRIM (E) TREES IN TTH ZONE 9'-0" ABOVE FINISHED GRADE. MAKE SURE CUTS ARE CLOSE TO TREE TRUNK. NICE AND SMOOTH. PROTECT ALL TREES.
 - 117'-0" CUT FROM CHAPEL BUILDING. MOW AND REMOVE FROM ROOT. ALL SMALL BRUSH OUT OF TTH ZONE. AND RAKE MINIMUM 20' AROUND ALL NEW BUILDINGS.
 - SMOOTH GROUND OF ANY HOLES.
 - ALL MOST AREAS TO BE TREATED PER CIVIL ENGINEER DWGS.

KEY NOTES

- TRANSITIONAL TEMPORARY HOUSING BOUNDARY ZONE
- DRAINAGE CANAL
- MAIN ELECTRIC INTO (E) BUILDING
- CLEAN-OUT FOR STORM DRAIN- CLEAN OUT THE STORM DRAIN. CLEAR THE LINE ALL THE WAY NORTH TO FENCE.

LEGEND

- (E) TREES
- NEW HOUSING- LEVEL AREA AT NEW HOUSING, BUT DO NOT DIG BELOW 1'-0". LEAVE BASE SOIL UNDISTURBED.
- DEMOLITION
- REMOVE ALL BRUSH, BRAMBLES. REMOVE BLUEBERRYS BY ROOT. SCRAPE GROUND & SMOOTH ALL HOLES.

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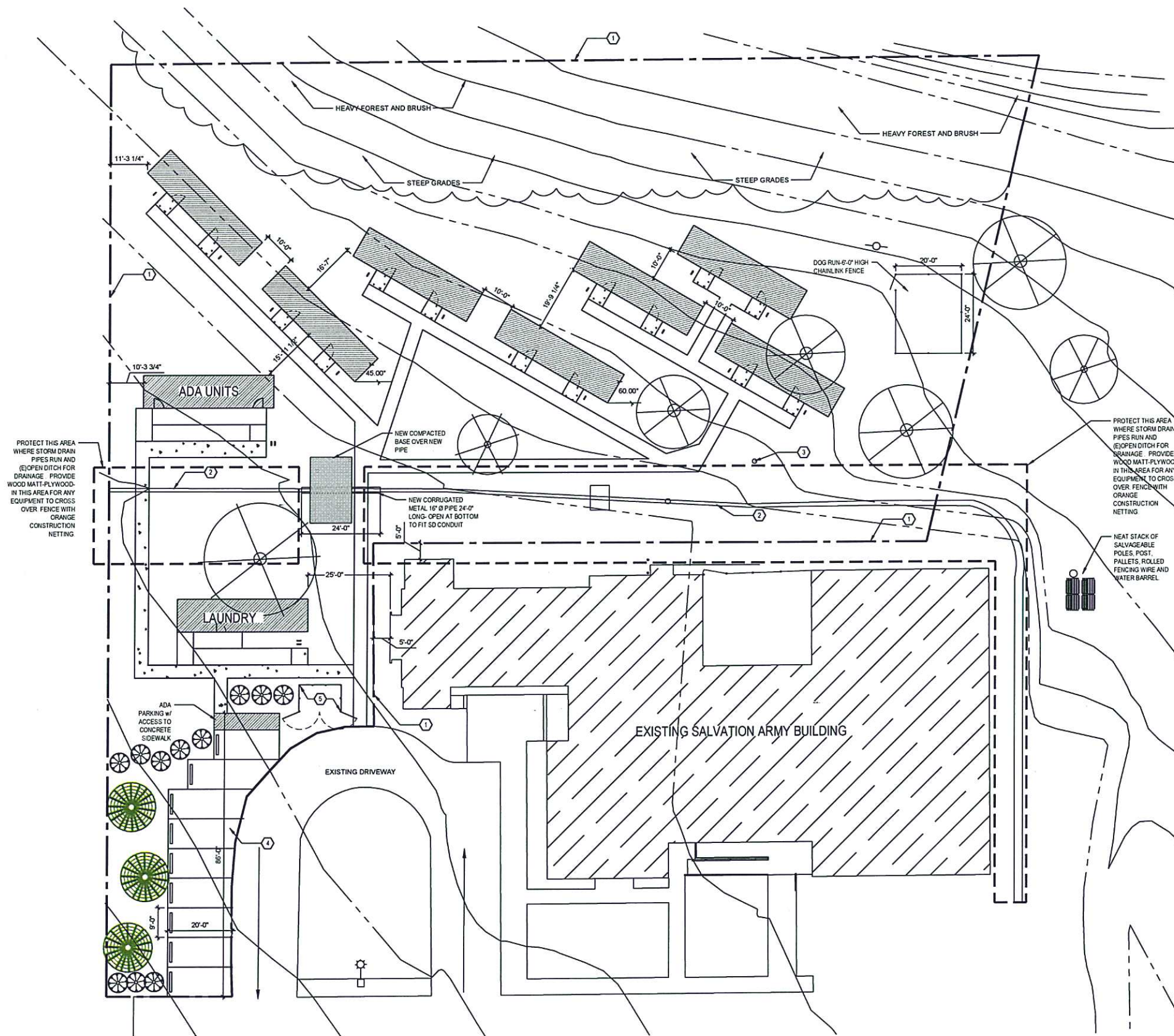
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A1.1

1 DEMOLITION OF SITE
 SCALE: 1/16" = 1'-0"





GENERAL NOTES

- CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO WORK, SEE CIVIL DRAWINGS
- SEE CIVIL FOR DETAILS ON CURBS AND CURB CUTS, SIDEWALKS
- SEE CIVIL FOR CONCRETE DEMO AND NEW CONCRETE LAYOUT
- ALL SIDEWALKS TO HAVE BROOMED FINISH PERPENDICULAR TO DIRECTION OF TRAVEL w/ 1-10% CROSS-SLOPE

KEY NOTES

- ① TRANSITIONAL TEMPORARY HOUSING BOUNDARY
- ② DRAINAGE CANAL
- ③ MAIN ELECTRIC INTO (E) BUILDING
- ④ NEW ASPHALT PARKING LOT
- ⑤ TEMPORARY WOOD TRASH CONTAINER

LEGEND

- NEW CONCRETE- 5X5' PADS AT EACH FRONT DOOR & 4'-0" SIDEWALK
- METAL EDGED DECOMPOSED GRANITE WALKWAY
- CONCRETE WHEEL STOP
- LANDSCAPE SCREEN
- MODULAR HOUSE
- TREES
- BIKE RACK

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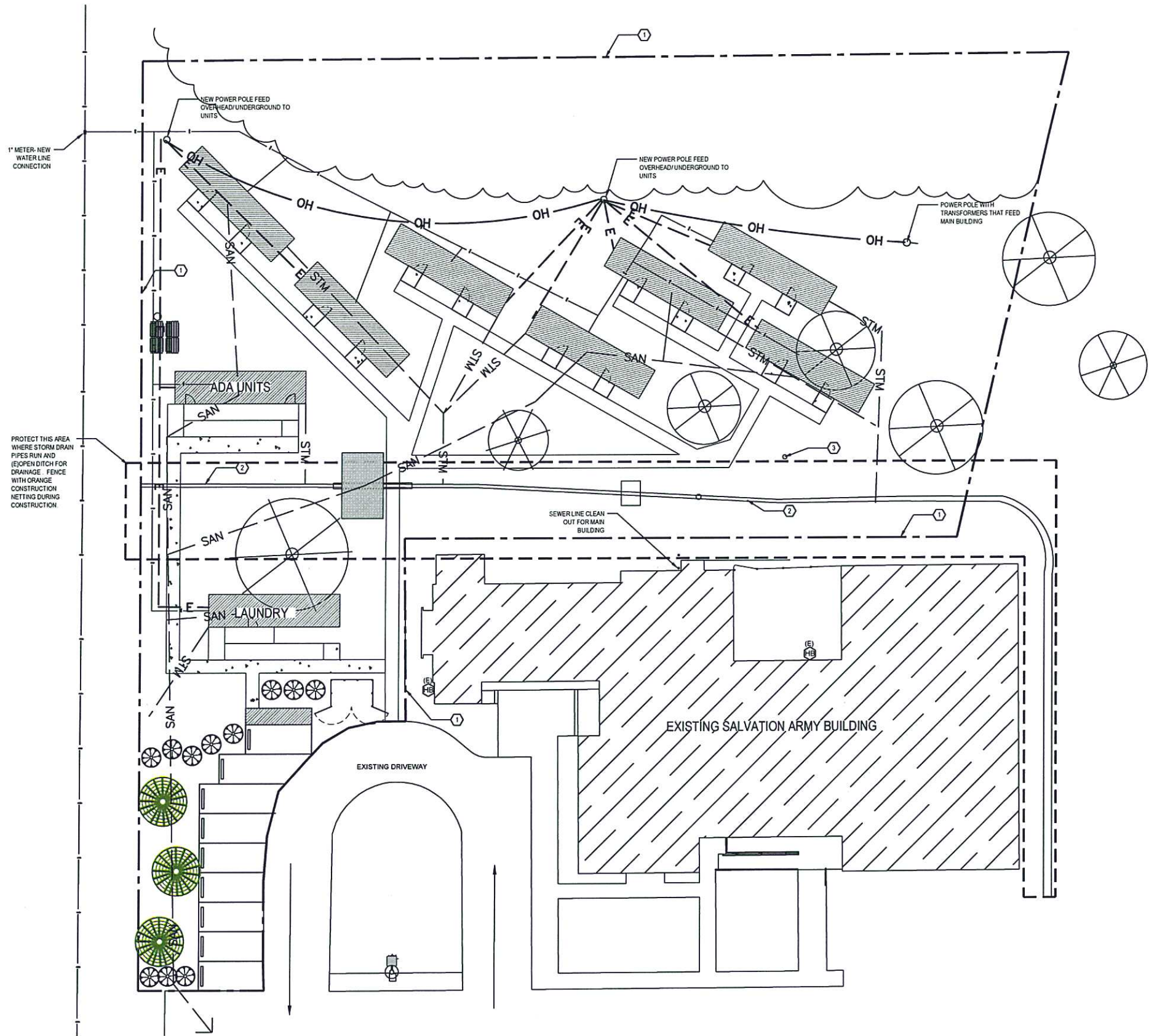
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A1.2

① TRANSITIONAL TEMPORARY HOUSING SITE
 SCALE 1/16" = 1'-0"





GENERAL NOTES

- CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO WORK. SEE CIVIL DRAWINGS.
- THIS IS A SCHEMATIC DESIGN FOR UTILITIES AND ARE SUBJECT TO CHANGE.
- EACH HOUSE WILL HAVE A 100 AMP PANEL. ONE MAIN METER WILL BE AT THE FIRST POLE FOR ALL THE 8 HOUSES AND LAUNDRY.

KEY NOTES

- TRANSITIONAL TEMPORARY HOUSING BOUNDARY
- DRAINAGE CANAL
- MAIN ELECTRIC INTO (E) BUILDING

LEGEND

- OH — OVERHEAD ELECTRICAL LINE
- E — UNDERGROUND ELECTRICAL LINE
- STM — STORM DRAINAGE LINE
- SAN — SANITARY SEWER
- WLS — WATER LINE
- HB — HOSE BIBB
- PL — PARKING LOT LIGHTING

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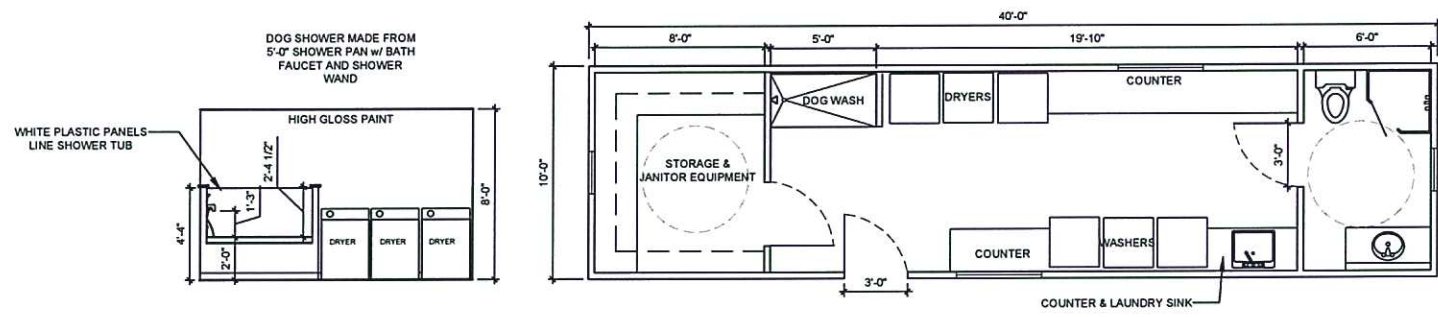
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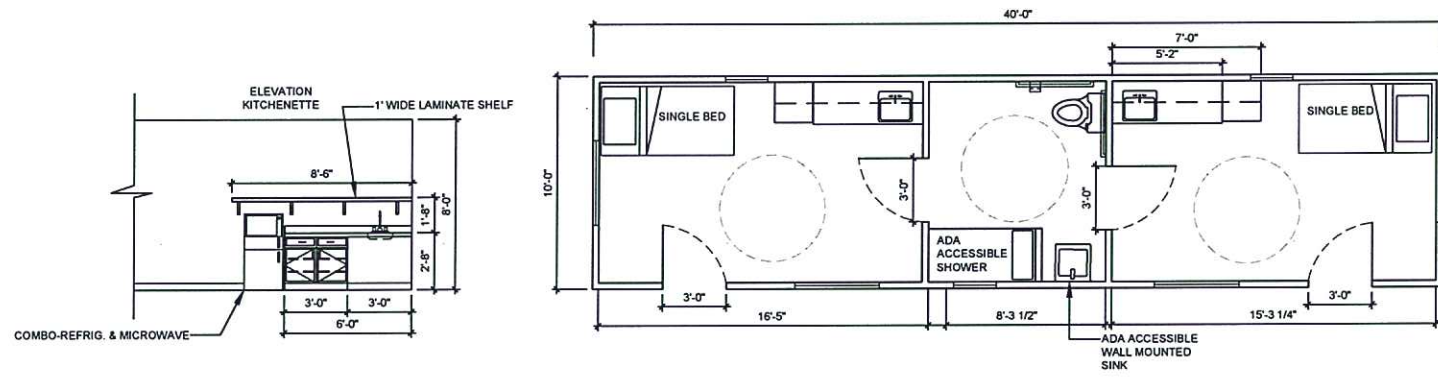
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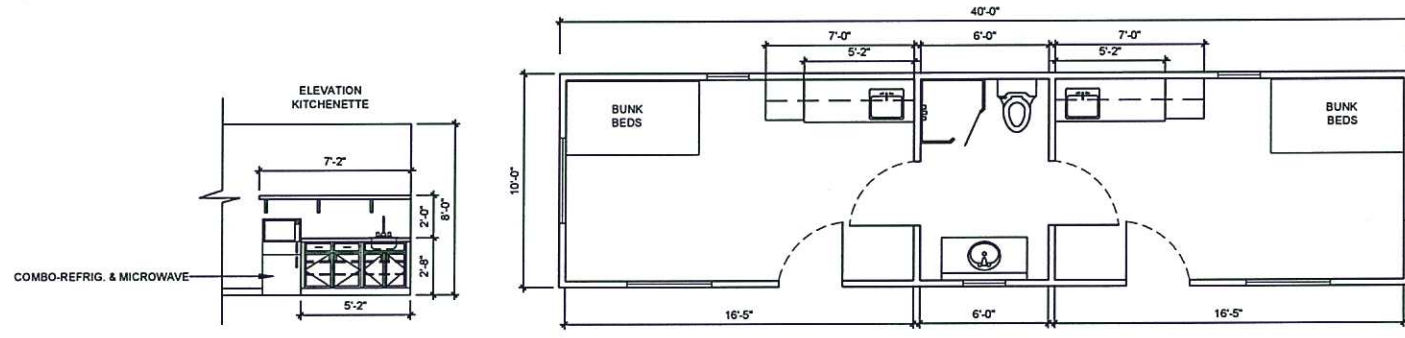
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3 TRANSITIONAL TEMPORARY HOUSING--LAUNDRY UNIT
SCALE 1/4" = 1'-0" NORTH



2 TRANSITIONAL TEMPORARY HOUSING- SINGLE ROOM OCCUPANCY UNITS-ADA
SCALE 1/4" = 1'-0" NORTH



1 TRANSITIONAL TEMPORARY HOUSING- SINGLE ROOM OCCUPANCY UNITS
SCALE 1/4" = 1'-0" NORTH

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A2.1